

RENOVATIONS FOR: LDD PROPERTIES 18 CHURCH STREET FISHKILL, NY 12524

DRAWING LIST

DWG. # DRAWING NAME

- | | |
|--------|--------------------------------|
| 1T1.0 | TITLE SHEET |
| 2SP1.0 | EXISTING & PROPOSED SITE PLANS |
| 3EP1.0 | EXISTING ELEVATION PHOTOS |
| 5A2.0 | PROPOSED ELEVATIONS |

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GENERAL NOTES:

1. ALL WORK SHALL CONFORM TO THE 2020 BUILDING CODE OF NEW YORK STATE CURRENT EDITION AND ALL LOCAL / MUNICIPAL CODES.
2. ALL WORK INCLUDING MATERIAL STRESSES AND METHODS OF CONSTRUCTION, SHALL CONFORM TO LOCAL AND STATE CODES.
3. CONTRACTOR SHALL CHECK AND VERIFY ALL EXISTING CONDITIONS AND CHECK ALL DIMENSIONS OF THE PROPOSED NEW CONSTRUCTION IN THE FIELD BEFORE STARTING WORK AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO THE START OF WORK.
4. INDEMNIFICATION: THE CONTRACTOR AND HIS SUBCONTRACTORS SHALL INDEMNIFY AND SAVE HARMLESS THE OWNER, THE OWNER'S ARCHITECT / ENGINEER, THEIR OFFICERS, AGENTS AND EMPLOYEES FROM ALL LOSSES, COSTS, FEES, EXPENSES, DAMAGES, OR LIABILITIES CAUSE OF 1- BODILY INJURY (INCLUDING DEATH), ACTUAL OR ALLEGED, TO ANY PERSON (INCLUDING BUT NOT LIMITED TO ANY EMPLOYEE OF THE OWNER OR THE CONTRACTOR OR HIS SUBCONTRACTOR AND INCLUDING ANY THIRD PARTY), OR 2- DAMAGE TO PROPERTY (INCLUDING BUT NOT LIMITED TO THE PROPERTY OF THE OWNER OR ITS EMPLOYEES OR OF ANY SUBCONTRACTOR OR THE CONTRACTOR AND INCLUDING THE PROPERTY OF ANY THIRD PARTY), ACTUAL OR ALLEGED, IF SUCH BODILY INJURY OR PROPERTY DAMAGE RESULTS DIRECTLY OR INDIRECTLY FROM THE PERFORMANCE OF THIS CONTRACT AND WHETHER OR NOT SUCH BODILY INJURY OR PROPERTY DAMAGE IS CAUSED BY THE ACTS OR OMISSIONS, NEGLIGENT OR OTHERWISE, OF THE CONTRACTOR AND AGENTS OR EMPLOYEES OR OF ANY SUBCONTRACTORS OF THE CONTRACTOR AND HIS SUBCONTRACTORS, OR OF THE OWNER, ITS OFFICERS, AGENTS, OR EMPLOYEES.
5. ALL MATERIALS, ASSEMBLIES, FORMS AND METHODS OF CONSTRUCTION AND SERVICES EQUIPMENT SHALL MEET THE FOLLOWING REQUIREMENTS.
 - A. ACCEPTABLE PRIOR TO THE EFFECTIVE DATE OF THE CODE BY THE BOARD
 - B. ACCEPTED FOR USE UNDER PRESCRIBED CODE TEST METHODS.
6. GENERAL CONTRACTOR SHALL COORDINATE HIS/HER WORK WITH THAT OF OTHER SUBCONTRACTORS AND SUPPLIERS.
7. CONTRACTOR SHALL PATCH AND REPAIR ALL SURFACES OPENED DURING THE INSTALLATION OF THE WORK AND REPAIR ALL EXISTING AREAS THAT REMAIN DAMAGED DURING THE PERFORMANCE OF THE WORK.
8. ALL DRAWINGS, SPECIFICATIONS AND CONSTRUCTION NOTES ARE COMPLEMENTARY, AND WHAT IS CALLED FOR BY ONE WILL BE BINDING AS IF CALLED FOR BY ALL. ANY WORK SHOWN OR REFERRED TO ON ANY DOCUMENT SHALL BE PROVIDED AS THOUGH SHOWN ON ALL DOCUMENTS.
9. THE CHARACTER AND SCOPE OF WORK ARE ILLUSTRATED BY THE DRAWINGS. TO INTERPRET AND EXPLAIN THE DRAWINGS, OTHER INFORMATION DEEMED NECESSARY BY THE ARCHITECT WILL BE FURNISHED TO THE CONTRACTOR WHEN AND AS REQUIRED BY THE WORK, AND IT IS TO BE UNDERSTOOD THAT THE SAID ADDITIONAL DRAWINGS ARE TO BE OF EQUAL FORCE WITH THE DRAWINGS AND SHALL BE CONSIDERED AS FORMING PART OF THESE NOTES TO WHICH THEY REFER.
10. CONTRACTOR SHALL NOT OBSTRUCT ACCESS TO ROADWAYS AT ANY TIME.
11. ALL DIMENSIONS NOTED ON PLANS ARE TO ROUGH FRAMING UNLESS OTHERWISE NOTED.
12. CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN THIS DOCUMENT AND CONTRACT DOCUMENTS ISSUED TO OTHERS PRIOR TO THE START OF THE WORK.
13. CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS OF THE NEW YORK STATE BUILDING CODES, STATE LABOR LAW AND ALL REGULATIONS OF NEW YORK STATE AND OTHER GOVERNMENT AGENCIES. ALL PERMITS SHALL BE PROPERLY DISPLAYED.
14. PENETRATION IN OPENINGS OF WALL PARTITIONS OR FLOORS FOR PIPE SLEEVES, ELECTRICAL DEVICES, ETC. SHALL BE PACKED AND SEALED OR OTHERWISE ISOLATED TO MAINTAIN THE REQUIRED FIRE STOPPING AND SOUND TRANSMISSION CLASSIFICATION RATING.
15. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH ANY AND ALL APPLICABLE CODES.
16. ALL PLUMBING & HVAC WORK SHALL BE DONE IN ACCORDANCE WITH ANY AND ALL APPLICABLE CODES.
17. MECHANICAL DESIGN-BUILD SHALL BE BY OTHERS.
18. IF, IN THE INTERPRETATION OF CONTRACT DOCUMENTS, REQUIREMENTS WITHIN THE DRAWINGS AND SPECIFICATIONS CONFLICT, OR IT APPEARS THAT THE DRAWINGS AND SPECIFICATIONS ARE NOT IN AGREEMENT, THE REQUIREMENT TO BE FOLLOWED SHALL BE DECIDED BY THE ARCHITECT. WHERE THERE IS A DISCREPANCY IN THE QUANTITY, THE CONTRACTOR SHALL PROVIDE THE GREATER QUANTITY; WHERE THERE IS A DISCREPANCY IN THE QUALITY, THE CONTRACTOR SHALL PROVIDE THE SUPERIOR QUALITY.
19. THE CONTRACTOR IS RESPONSIBLE FOR FURNISHING AND INSTALLING ALL COMPONENTS, ACCESSORIES, ETC. FOR A COMPLETE PROJECT INCLUDING ITEMS NOT SHOWN IN THESE CONSTRUCTION DRAWINGS.
20. ALL PRODUCTS ARE TO BE INSTALLED IN STRICT CONFORMANCE W/ MANUFACTURER'S INSTALLATION INSTRUCTIONS. NO EXCEPTIONS.

ABBREVIATIONS

<p>ACT ACQUISICAL CEILING TILE ADD ADDENDUM ADJ ADJACENT AFF ABOVE FINISHED FLOOR ALT ALTERNATE ALUM ALUMINUM ANOD ANODIZED FINISH AP ACOUSTICAL PANEL APPROX APPROXIMATE ARCH ARCHITECT/ARCHITECTURAL ASSOC ASSOCIATED AV AUDIO VISUAL</p> <p>BB BULLETIN BOARD BY BOTTOM OF BLDG BUILDING BLKG BLOCKING BSMS BEAM/BEAMS BOS BOTTOM OF SOFFIT BOARD BRD/BD BEARING BRG BASEMENT BSMT</p> <p>C CARPET CAB CABINET CB CHALKBOARD CJ CONTROL JOINT CL CENTER LINE CLS CEILING CLO CLOSET CLR COOLER CMU CONCRETE MASONRY UNIT COL COLUMN CONC CONCRETE CONF CONFERENCE CONT CONTINUOUS CONTR CONTRACTOR CORR CORRIDOR CSMU CALCIUM SILICATE MASONRY UNIT CT CERAMIC TILE CTB CERAMIC TILE BASE</p> <p>DA DETAIL DTL DETAIL DF DRINKING FOUNTAIN DIA DIAMETER DISP DISPENSER DIV DIVISION DN DOWN DR DOOR DS DOWNSPOUT DWG DRAWING</p> <p>EA EACH EHD-X ELECTRIC HAND DRYER EIFS EXTERIOR INSULATION FINISH SYSTEM ELEV ELEVATION ELEC ELECTRICAL EMER EMERGENCY EMO EXISTING MASONRY OPENING EQ EQUAL EQUIP EQUIPMENT E.U. EGRESS UNIT EWC ELECTRIC WATER COOLER EWO EXISTING WINDOW OPENING EXHB EXHIBIT EXIST/EXISTS EXISTING EXP JT EXPANSION JOINT EXP EXPOSED EXT EXTERIOR</p> <p>FE FIRE EXTINGUISHER WALL MTD. FD FLOOR DRAIN FIN FINISH FIX FIXTURE FL FLOOR FNDR FEMININE NAPKIN DISPOSAL FOUNDATION FNDV FEMININE NAPKIN VENDOR FRP FIBER REINFORCED PLASTIC FT FEET FTG FOOTING FURN FURNISH / FURNITURE FUR FURRED / FURRING FR FIRE RESISTANT FEC FIRE EXTINGUISHER CABINET</p> <p>GA GALLON GAL GALVANIZED GB GRAB BAR GC GENERAL CONTRACT GCT GRANITE COUNTER TOP GL GLASS / GLAZING GND GROUND GYP WALL BD/GWB GYPSUM WALL BOARD</p> <p>H HIGH H/C DISABLED ACCESS HD HEAVY DUTY HDR HEADER HWR HARDWARE HM HOLLOW METAL HRZ HORIZONTAL HR HOURS / HOUR HT HEIGHT HTG HEATING HVAC HEATING VENTILATION A/C</p> <p>ID INSIDE DIAMETER INSUL INSULATION INV INVERT</p> <p>JAN JANITOR JT JOINT</p> <p>KPL KICKPLATE</p> <p>L LAMINATED GLASS LAV LAVATORY LF LINEAR FEET LH LEFT HAND LHR LEFT HAND REVERSE LIN LINEN LLH LONG LEG HORIZONTAL LLV LONG LEG VERTICAL LVR LOUVER</p> <p>MACH MACHINE MAS MASONRY MAT MATERIAL MAX MAXIMUM MBH MOP & BROOM HOLDER MECH MECHANICAL METL METAL MEZZ MEZZANINE MFRG MANUFACTURE / MANUFACTURER MN MINIMUM MR MIRROR MLD MOLDING MO MASONRY OPENING MP METAL PANEL MRGWB MOISTURE RESISTANT GYPSUM BOARD</p>	<p>NC NONCOMBUSTIBLE NIC NOT IN CONTRACT NO NUMBER NOM NOMINAL NTS NOT TO SCALE</p> <p>OC ON CENTER OH OVERHEAD OPNG OPENING OPP HD OPPOSITE HAND</p> <p>PART PARTITION PC PLUMBING CONTRACTOR PF PRE-FINISHED PL PLASTER PLMBG PLUMBING PLY/PLYWD PLYWOOD</p> <p>P/NT PAINT POL POLISH P/P PAIR PT POINT PTD PAPER TOWEL DISPENSER PTN PARTITION PVC POLY VINYL CHLORIDE POB PAINTED GYPSUM BOARD PS PROJECTION SCREEN</p> <p>Q.T. QUARRY TILE</p> <p>R RISER RAD RADIUS RCP REFLECTED CEILING PLAN RD ROOF DRAIN REFR REFER TO REFRIGERATOR REQD REQUIRED RH RIGHT HAND RHR RIGHT HAND REVERSE RM ROOM</p> <p>S SEALER SAT SATURATION SC SOLID CORE WOOD DOOR SD SOAP DISPENSER SF SQUARE FEET SHT SHEET SIM SIMILAR SPEC SPECIFICATION SPD SOAP DISH SQ SQUARE SST STAINLESS STEEL STL/ST STRUCTURAL / STRUCTURE STRUCT STRUCTURE SUSP SUSPENDED SHT VINYL FLOORING SW SHEAR WALL</p> <p>T TREAD T/ TOP OF T&G TONGUE AND GROOVE T/S TOP OF STEEL TB TACK BOARD TCB TECTUM BOARD TEL TELEPHONE TEMP TEMPERED TERR TERRAZZO TG TEMPERED GLASS THK THICK THRU THROUGH TOC TOP OF CONCRETE TOP TOP OF FOOTING TOM TOP OF MASONRY TPH TOILET PAPER HOLER T/S TACK STRIP TYP TYPICAL</p> <p>UG UNDERGROUND UH UNIT HEATER UL UNDERWRITERS LABATORIES UNLESS OTHERWISE NOTED US UNDERSIDE UTL UTILITY UV UNIT ELEVATOR</p> <p>V VINYL VCT VINYL COMPOSIT TILE VET VERTICAL VIF VERIFY IN FIELD VTR VENT THROUGH ROOF</p> <p>W WIDE WTH WITH WB WHITEBOARD WC WATER CLOSET WD WOOD WP WATERPROOF WRWB WATER RESISTANT GYPSUM BRD.</p>
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SYMBOLS

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE DEMOLISHED
- NEW CONSTRUCTION
-
-
-
-

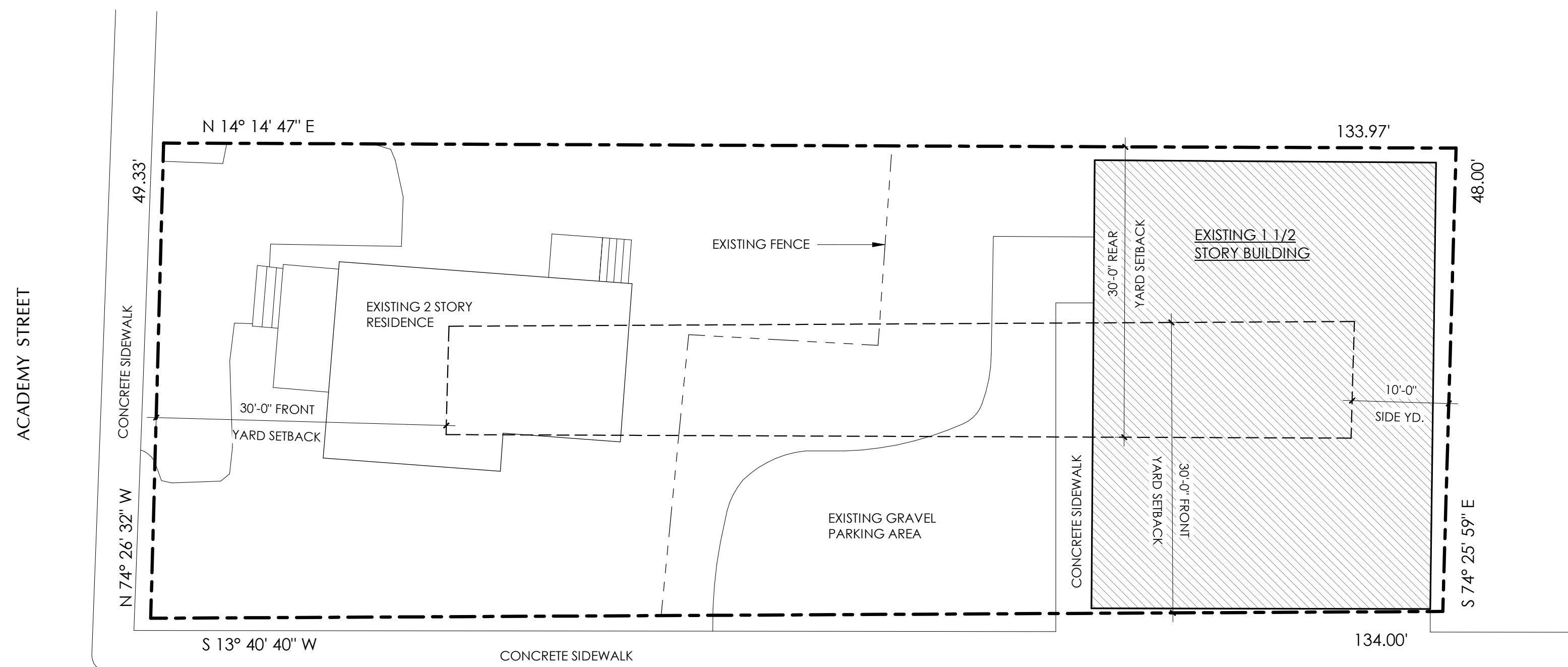
REVISIONS / ISSUE DATES	
NO.	DESCRIPTION
1	ISSUED TO PLANNING BOARD
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THESE DRAWINGS ARE INSUFFICIENT FOR CONSTRUCTION WITHOUT THE SEAL AND SIGNATURE OF THE ARCHITECT OF RECORD

DRAWING TITLE: **TITLE SHEET**

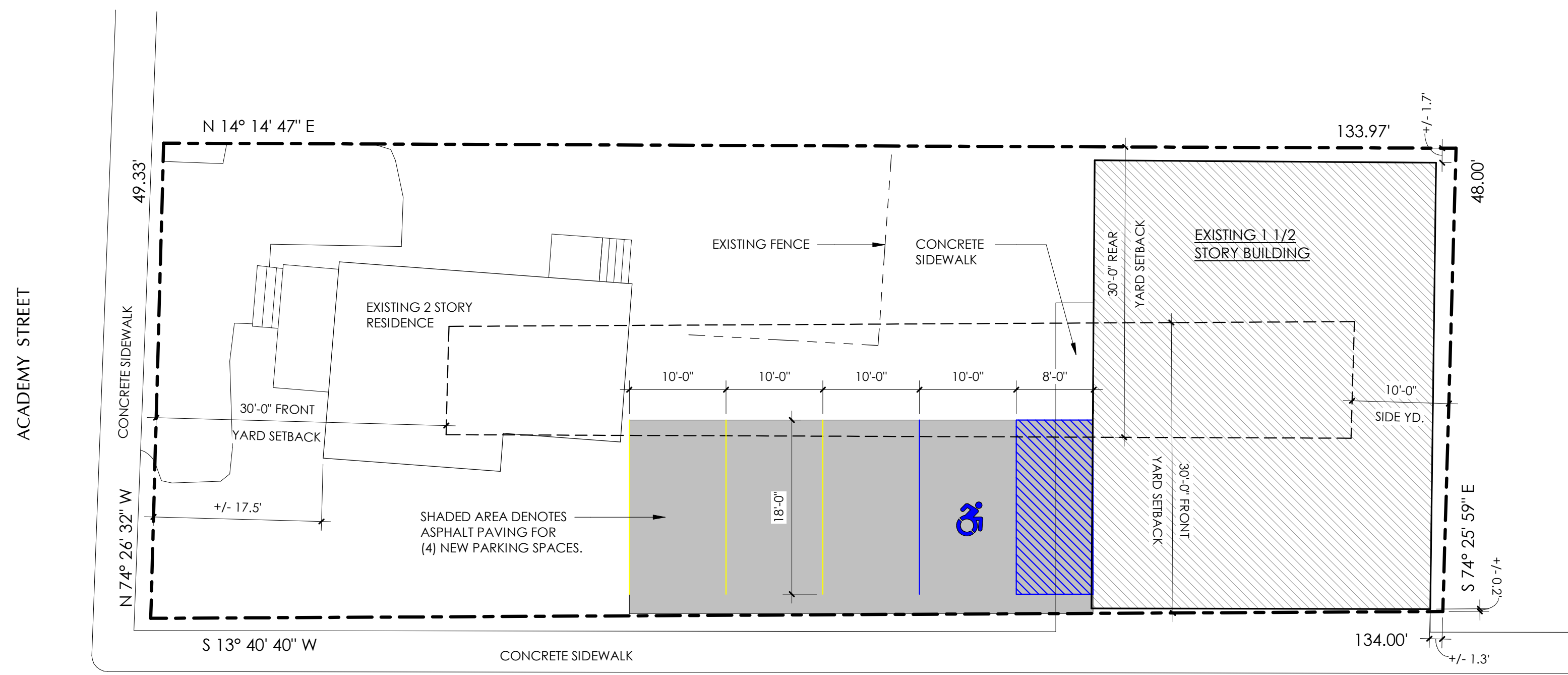
PROJECT NAME: **Renovations to:
LDD Properties
18 Church Street
Fishkill, NY 12524**

DRAWN BY: SW	SHEET: 1 OF 1
DATE: 2/6/25	SCALE: As indicated
DRAWING NO. 1T1.0	
PROJECT PHASE: PB	



1 EXISTING SITE PLAN
2SP1.0 1" = 10'-0"

SURVEY NOTE:
ALL SITE PLAN INFORMATION WAS TAKEN FROM A SURVEY AS PREPARED BY:
BADEY & WATSON
SURVEYING & ENGINEERING D.P.C.
NYS LICENSE No. 49789
DATE OF SURVEY: 1/17/25



2 PROPOSED SITE PLAN
2SP1.0 1" = 10'-0"

PARKING REQUIREMENTS:
MULTI-FAMILY: 1 FOR EACH DWELLING UNIT PLUS 1/2 FOR EACH BEDROOM.
UNITS: (2) STUDIOS + (1) 2-BEDROOM APARTMENT.
NUMBER OF SPACES REQUIRED: 4. NUMBER OF SPACES PROVIDED: 4

ZONING INFORMATION

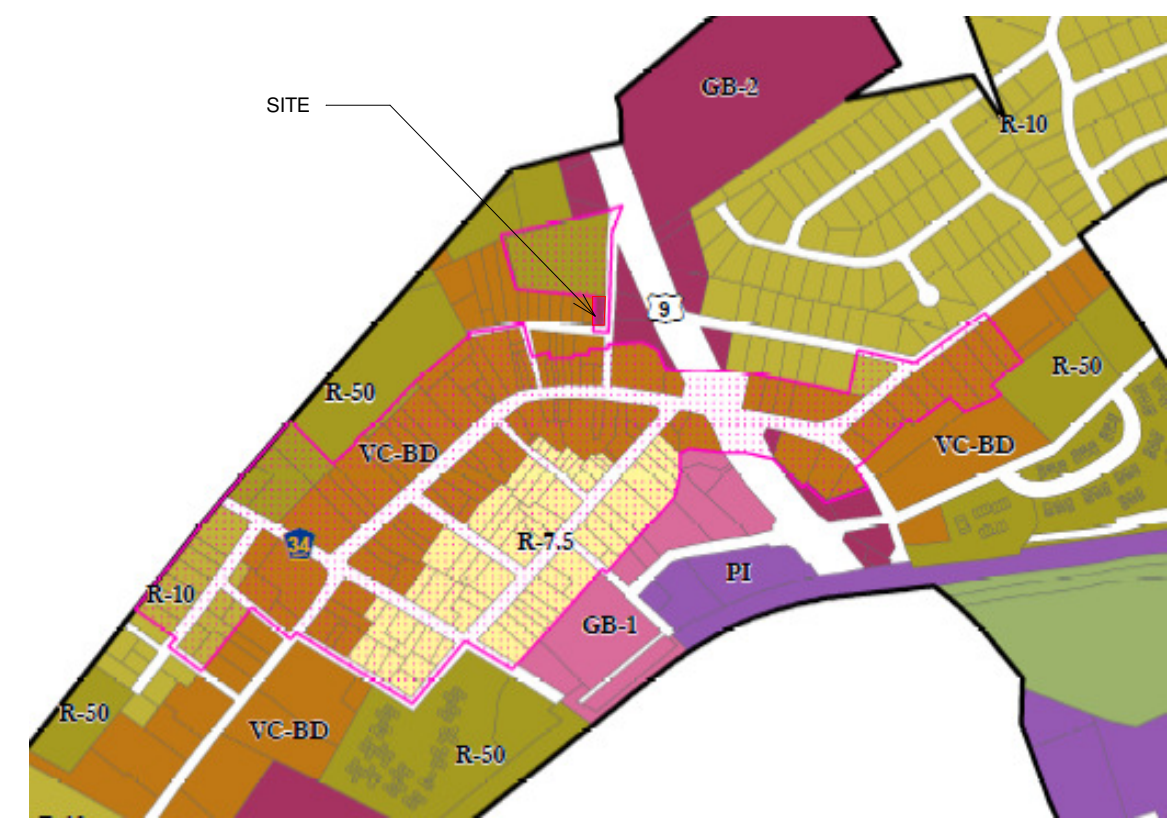
TOWNSHIP: TOWN VILLAGE OF FISHKILL, NY
SECTION, BLOCK, LOT: 133001-6156-20-824011
ZONE: GB-2

	MIN. LOT AREA	MIN. WIDTH	MIN. DEPTH	FRONT YD.	FRONT YD.	SIDE YD	REAR YD.	MAX BLDG. HGHT	MAX BLDG. COVERAGE	MAX LOT COVERAGE	MIN SEPARATION BTWN BLDGS.
ORDINANCE REQUIREMENT:	7,500 SF	50 FT	70 FT	30 FT	30 FT	10 FT c	30 FT d	35 FT	35 %	65%	10 FT f
EXISTING:	6,518 SF	48 FT	133.97 FT	+/- 17.5 FT	+/- 0.2 FT	+/- 1.3 FT	+/- 1.7 FT	+/- 18'-6"	+/- 33.6 %	+/- 55.8 %	--
PROPOSED:	NO CHANGE	NO CHANGE *	NO CHANGE	NO CHANGE *	NO CHANGE *	NO CHANGE *	NO CHANGE *	+/- 25'-8"	NO CHANGE	+/- 57.0 %	NO CHANGE

NOTES:

c: Twenty feet if side yard contains a driveway; 40 feet if side yard abuts a residence district (except where a street divides the districts).
d: Forty feet if rear yard abuts a residence district (except where a street divides the districts).
f: Where the New York State (NYS) Uniform Fire Protection and Building Code is more restrictive, the NYS Code shall apply.

- Legend**
- PARCEL BOUNDARIES
 - MUNICIPAL BOUNDARIES
- Zoning Districts**
- GB-1, GENERAL BUSINESS DISTRICT
 - GB-2, GENERAL BUSINESS DISTRICT
 - PL, PLANNED BUSINESS DISTRICT
 - PI, PLANNED INDUSTRY DISTRICT
 - R-10, ONE-FAMILY RESIDENCE DISTRICT
 - R-50, THREE-OR-MORE-FAMILY RESIDENTIAL
 - R-7.5, ONE AND TWO FAMILY RESIDENTIAL
 - VC-BD, VILLAGE CENTER BUSINESS DISTRICT
 - HPO, HISTORIC PRESERVATION OVERLAY



3 ZONING MAP
2SP1.0 NO SCALE



4 LOCATION MAP
2SP1.0 NO SCALE

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REVISIONS / ISSUE DATES	NO.	DESCRIPTION	DATE	BY
		ISSUED TO PLANNING BOARD	2/7/25	SW

PROJECT NAME:
**Renovations to:
LDD Properties
18 Church Street
Fishkill, NY 12524**

DRAWING TITLE:
EXISTING & PROPOSED SITE PLANS

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DRAWN BY: SW	SHEET: 2 OF #
DATE: 2/6/25	SCALE: As indicated

DRAWING NO:
2SP1.0

PROJECT PHASE:
PB



1 EXISTING FRONT PHOTO
3EP1.0 NO SCALE



2 EXISTING RIGHT PHOTO
3EP1.0 NO SCALE



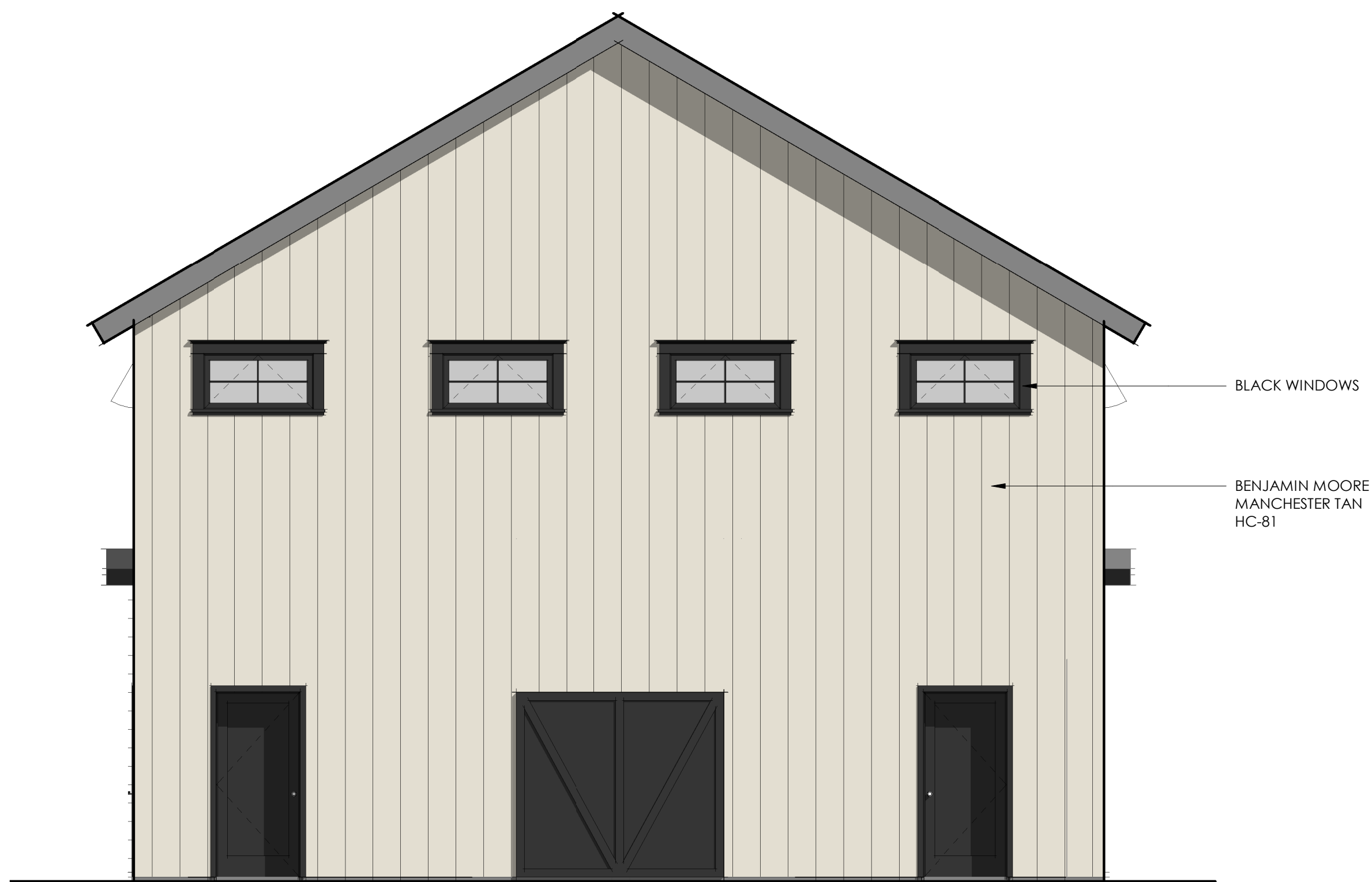
3 EXISTING LEFT PHOTO
3EP1.0 NO SCALE



4 EXISTING BACK PHOTO
3EP1.0 NO SCALE

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<p>REVISIONS / ISSUE DATES</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 5%;">NO.</th> <th style="width: 45%;">DESCRIPTION</th> <th style="width: 10%;">BY</th> <th style="width: 10%;">DATE</th> </tr> </thead> <tbody> <tr> <td> </td> <td>ISSUED TO PLANNING BOARD</td> <td>SW</td> <td>2/7/25</td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	NO.	DESCRIPTION	BY	DATE		ISSUED TO PLANNING BOARD	SW	2/7/25																																	<p>PROJECT NAME: Renovations to: LDD Properties 18 Church Street Fishkill, NY 12524</p> <p>DRAWING TITLE: EXISTING ELEVATION PHOTOS</p>
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<p>DRAWING NO. 3EP1.0</p>																																									
<p>PROJECT PHASE: PB</p>																																									



1 FRONT ELEVATION
5A2.0 1/4" = 1'-0"



2 LEFT ELEVATION
5A2.0 1/4" = 1'-0"



3 RIGHT ELEVATION
5A2.0 1/4" = 1'-0"

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REVISIONS / ISSUE DATES		DATE
NO.	DESCRIPTION	
	ISSUED TO PLANNING BOARD	2/7/25

PROJECT NAME:
**Renovations to:
 LDD Properties
 18 Church Street
 Fishkill, NY 12524**

DRAWING TITLE:
PROPOSED EXTERIOR ELEVATIONS

DRAWN BY: SW	SHEET: 5 OF 5 #
DATE: 2/6/25	SCALE: 1/4" = 1'-0"
DRAWING NO. 5A2.0	
PROJECT PHASE: PB	